

HOGAN AVENUE

211.24' SURVEY, 206.96' DEED



REFERENCE DATA:

- BLOCK 6223
- EXIST. LOT NUMBER 24
- EXIST. HOUSE NUMBER 113
- PROPOSED LOT NUMBERS SEE SITE PLAN
- PROPOSED HOUSE NUMBERS SEE SITE PLAN
- Z.R. DISTRICT R3X (SSR)
- Z.R. MAP NUMBER 336
- Z.R. USE GROUP 2
- B.C. CONSTRUCTION CLASS VB (SPK)
- B.C. OCCUPANCY GROUP R-3

- INSIDE Z.R. LOWER DENSITY GROWTH MANAGEMENT
- INSIDE Z.R. SOUTH RICHMOND DISTRICT
- CONTAINS DESIGNATED OPEN SPACE
- CPC NO. XXXXXXXXX (SUBDIVISION)
- CPC NO. XXXXXXXXX (D.O.S.)
- OUTSIDE Z.R. NATURAL AREA
- OUTSIDE Z.R. HILLSIDE PRESERVATION DISTRICT
- OUTSIDE B.C. FIRE DISTRICT
- OUTSIDE B.C. FLOOD HAZARD ZONE
- INSIDE N.Y.S.D.E.C. FWW/TDA, WETLANDS
- PARTIALLY WITHIN 100' ADJACENT AREA
- INSYDEC PERMIT NO. 2-6404/XXXXXX0001

SITE NOTES:

1. ALL MEASUREMENTS AND BOUNDARIES SHOWN ON THIS SITE PLAN HAVE BEEN TAKEN FROM LAND SURVEYS PREPARED BY ROGERS SURVEYING, PLLS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
2. SEE APPROVED PLANNING PLAN FOR ALL STREET, SIDEWALK AND CURB IMPROVEMENTS PREPARED BY RS ENGINEERING & SURVEYING. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
3. FOR PROPOSED DRAINAGE SYSTEMS, COMPUTATIONS AND CONSTRUCTION MATERIALS SEE APPROVED DRAINAGE PLAN PREPARED BY RS ENGINEERING & SURVEYING. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
4. FOR STREET TREE PRESERVATION, EXISTING TREE REMOVAL, NEW TREE PLANTING AND/OR REQUIRED OFF SITE NEW TREE PLANTING SEE APPROVED NYCPR STREET TREE PLANTING PLAN PREPARED BY RS ENGINEERING & SURVEYING. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
5. OWNER'S OF ADJACENT PROPERTIES TO BE NOTIFIED 5 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
6. PROPOSED CONSTRUCTION WILL NOT HAVE AN ADVERSE EFFECT ON ADJACENT PROPERTIES.
7. THE HYDRANT TO BE LOCATED WITHIN 250 FT. OF BUILDING ENTRANCE.
8. THE OWNER/BUILDER OF THE PROPERTY INDICATED ON THE APPLICATION HAS STATED THAT ALL WORK PERFORMED UNDER THIS APPLICATION WILL HAVE NO ADVERSE EFFECT ON ANY SURROUNDING PROPERTIES CONCERNING STORM WATER DRAINAGE. HOWEVER, HE/SHE WILL BE RESPONSIBLE TO MAKE CERTAIN THAT WHILE THE WORK IS BEING DONE, THE SURROUNDING PROPERTY WILL BE PROTECTED FROM STORM WATER DAMAGE.
9. ALL FINISHED GRADES SHOWN ON THE FINAL SURVEY OF THE REFERENCED PROPERTY SHALL CONFORM TO THE ELEVATIONS SHOWN AS PROPOSED GRADES ON THIS SITE PLAN.
10. POURED CONCRETE CURBS / RETAINING WALLS SHALL BE INSTALLED AT ALL LOCATIONS SHOWN ON THIS SITE PLAN IN ACCORDANCE WITH THE DETAILS OUTLINED ON THE GENERAL NOTE SHEET OR OTHERWISE NOTED.
11. ALL AREA DRAINS AND YARD DRAINS TO BE INSTALLED AT ALL LOCATIONS SHOWN ON THIS SITE PLAN. ALL DRAINS, TOP FLANGES, ETC. SHALL BE B.S.A. OR M.E.A. APPROVED TYPES.
12. AN APPROVED TYPE WATER METER SHALL BE INSTALLED FOR EACH DWELLING UNIT IN ACCORDANCE WITH ANY N.Y.C. AGENCY HAVING JURISDICTION.
13. AT A HEIGHT OF NO MORE THAN TWELVE FEET ABOVE GROUND ON EACH PERIMETER OF A CONSTRUCTION SITE FRONTING A PUBLIC THOROUGHFARE, A SIGN SHALL BE ERECTED WHICH BEARS IN LETTERS NO LESS THAN THREE INCHES HIGH, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PROPERTY OWNER, AND THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTOR.

TREE LEGEND:

- EXISTING TREE TO BE PRESERVED
- EXISTING TREE TO BE REMOVED
- PROPOSED 3" CALIPER TREE

GRADE LEGEND:

- (0.0) LEGAL GRADE
- (0.0) EXISTING GRADE
- (0.0) PROPOSED GRADE

AREA OF NO LAND ALTERATION

FWW WETLAND LINE AS DELINEATED BY CEA, INC. ON 9/18/14.

NEW YORK CITY ZONING RESOLUTION DESIGNATED OPEN SPACE (R.O.S.)

LIMIT OF WETLAND ADJACENT AREA

LIMIT OF WETLAND ADJACENT AREA

LIMIT OF WETLAND ADJACENT AREA

LIMIT OF WETLAND ADJACENT AREA

AREA OF NO LAND ALTERATION

FWW WETLAND LINE AS DELINEATED BY CEA, INC. ON 9/18/14.

204.56' SURVEY 200.00' DEED

ARBUTUS AVENUE

NOT FINAL MAPPED NOT ADOPTED CORPORATION COUNSEL OPINION 3/08/1985 18-37 AS IN USE

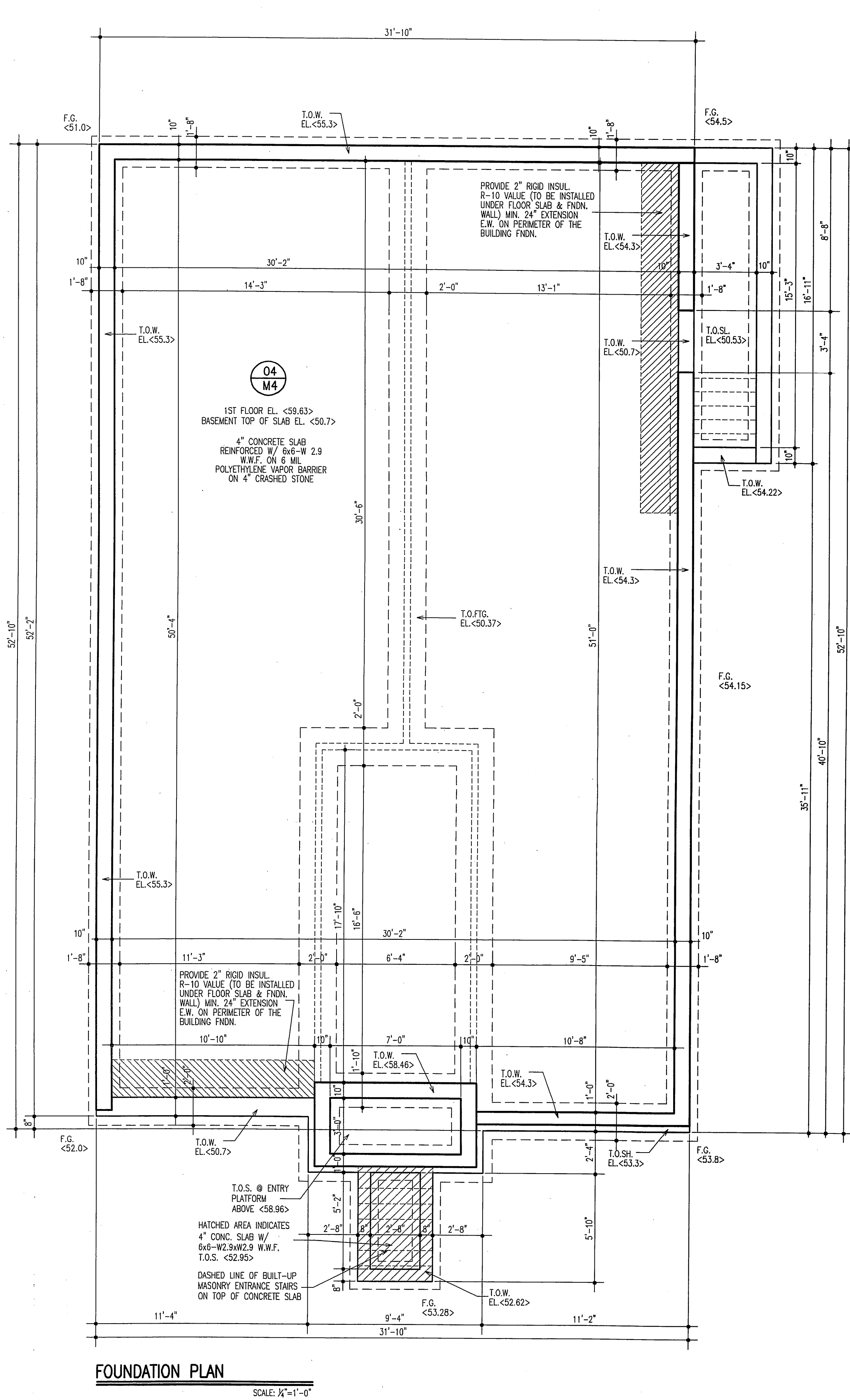


Stanley Michael Krebushevski Architect



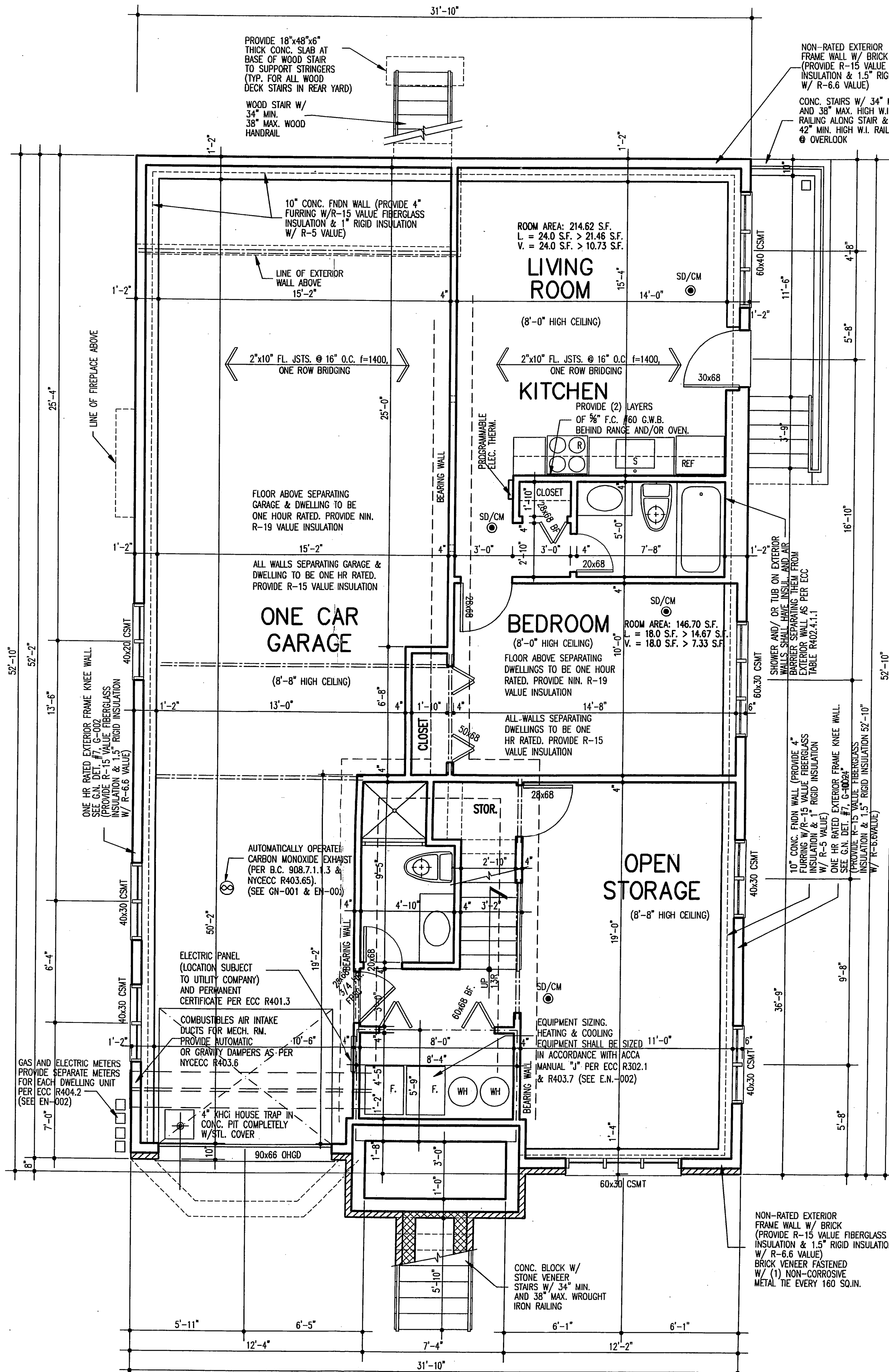
1562 Richmond Road Suite 205 Staten Island, New York 10304 718 / 667-1234

Title		
SITE PLAN, REFERENCE DATA, ZONING COMPUTATIONS		
Scale	1" = 20'-0"	Dwg. No.
Date	01/19/16	A-001.00
Drawn By	CL	1 OF
Job No.	15-1682	



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



CELLAR/ BASEMENT FLOOR PLAN (FOR B.C.)

BASEMENT FLOOR PLAN (FOR Z.R.)

<p>B.C. GROSS FLOOR AREA: 31.83 x 52.83 = 1,681.58 SF LESS RECESS: 12.33 x 0.67 = 8.26 7.33 x 1.67 = 12.24 TOTAL RECESS: 20.48 SF TOTAL FLOOR AREA: 1,681.58 - 20.48 = 1,661.10 SF</p>	<p>Z.R. FLOOR AREA SAME AS GROSS: 1,661.10 SF LESS ONE CAR GARAGE BOWNS: MAX. 300.00 SF REDUCTION ACTUAL GARAGE FLOOR AREA: 15.17 x 25.00 = 379.25 13.00 x 6.68 = 86.84 10.50 x 19.17 = 201.28 TOTAL GARAGE FL. AREA: 667.37 SF > 300.00 SF. THEREFORE USE 300.00 SF LESS MECH. ROOM: 8.33 x 5.75 = 47.90 TOTAL FLOOR AREA: 1,661.10 - 300.00 - 47.90 = 1,313.20 SF</p>
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- SYMBOL LEGEND:**
- SD/CM APPROVED TYPE SMOKE DETECTOR / HARDWARE CARBON MONOXIDE DETECTOR (CARBON MONOXIDE DETECTOR WILL BE INSTALLED WITHIN 15' FROM BEDROOMS AS PER R.S. 17-13 & 17-14) SMOKE ALARMS SHALL BE INTERCONNECTED AND EQUIPPED W/ BATTERY BACK. (SEE GENERAL NOTE SHEET)
 - WH GAS FIRED HOT WATER HEATER. MAKE: A.O. SMITH MODEL: FPHS 50 (DIRECT VENT) MEA #: 227-93E
 - VERTICAL DUCT WITH APPROVED TYPE REGISTER AND GRAVITY DAMPER.
 - EXHAUST FAN IN BATHROOMS (WILL BE INSTALLED AS PER ECC TABLE 403.6.1) (SEE GENERAL NOTES)
 - GAS FIRED HOT WATER FURNACE MAKE: GOODMAN MODEL: GMS 80 (DIRECT VENT) BOX RISE MEA # 127-03E VOL.4
 - FUR. GAS FIRED HOT WATER HEATER. MAKE: A.O. SMITH MODEL: FPHS 50 (DIRECT VENT) MEA #: 227-93E
 - W/D WASHER / DRYER

- NOTES:**
- ALL INTERIOR WALLS SEPARATING GARAGE FROM RESIDENCE AND RESIDENCE FROM RESIDENCE TO BE ONE HOUR RATED. SEE DETAIL #8 GENERAL NOTES, SHEET G-002.
 - FLOOR ASSEMBLIES SEPARATING GARAGE FROM RESIDENCE AND RESIDENCE FROM RESIDENCE TO BE ONE HOUR RATED. SEE DETAIL #24 AND OR 25. GENERAL NOTES, SHEET 2 OF 2.
 - ALL EXTERIOR WALLS WITHIN 15'-0" OF PROPERTY LINE TO BE ONE HOUR RATED. SEE DETAIL #28, GENERAL NOTES SHEET G-003. ALSO SEE DETAIL #9 AND OR #10 FOR ONE HOUR RATED SOFFIT AND FASCIA.
 - PROVIDE TWO LAYERS OF 5/8" F.C. #60 G.W.B. BEHIND OWEN AND OR RANGE.
 - SEE DETAIL #22, 23 & 29, GENERAL NOTES, SHEET G-003 FOR PLAN OF VENT FLUE ENCLOSURE DETAIL (WHERE REQUIRED).
 - SEE DETAIL # 27, GENERAL NOTES, SHEET G-003, FOR ONE HOUR RATED STEEL COLUMN DETAILS (WHERE REQUIRED).
 - PROVIDE TWO COMBUSTIBLE AIR INTAKE DUCTS (ONE HIGH, ONE LOW) FROM ALL MECHANICAL ROOMS TO EXTERIOR BUILDING. PROVIDE AUTOMATIC OR GRAVITY DAMPERS AS PER NYCECC R403.6. LOCATION, CONSTRUCTION, AND SIZE OF DUCTS TO BE IN CONFORMANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S SPECIFICATIONS.
 - SEE DETAIL #20 GENERAL NOTES, SHEET G-003, FOR PIPING THROUGH FLOOR DETAIL.
 - ALL DOOR AND WINDOW SIZES ARE IN FEET AND INCHES. THEREFORE
 - A 30x68 DOOR IS 3'-0" WIDE BY 6'-8" HIGH. SIMILARLY.
 - A 60x40 WINDOW IS 6'-0" WIDE BY 4'-0" HIGH.
 - BC 403.6 EQUIPMENT SIZING, HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL "J" (SEE EN-002)
 - LIGHTING EQUIPMENT (MANDATORY) A MINIMUM 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS AS PER NYCECC R404.1
 - 1. 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS.
 - 2. 50 LUMENS PER WATT FOR LAMPS OVER 15 WATTS TO 40 WATTS, AND
 - 3. 40 LUMENS PER WATT FOR LAMPS 15 WATTS OR LESS.
 - DOUBLE UP ALL JOISTS UNDER PARALLEL NON-BEARING PARTITION. FOR BEARING PARTITION SEE FLOOR PLANS.
 - TR-3 FORM FOR 4000 PSI CONCRETE TO BE PROVIDED TO THE APPLICANT OF RECORD AND SPECIAL INSPECTION AGENCY RESPONSIBLE FOR CONCRETE CAST-IN-PLACE PRIOR TO PLACEMENT OF CONCRETE. SPECIAL INSPECTION AGENCY TO VERIFY THE INSTALLATION OF 4000 PSI CONCRETE.

ENERGY CONSERVATION CODE PROFESSIONAL STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2016 NYC ENERGY CONSERVATION CODE.

VB CONSTRUCTION FULLY SPRINKLERED

(SPRINKLER PLAN AS PER NFPA 13R TO BE FILED UNDER SEPARATE APPLICATION)

Project:
Arbutus Avenue
Staten Island, NY

MODEL M4
Stanley Michael
Krebushevski Architect

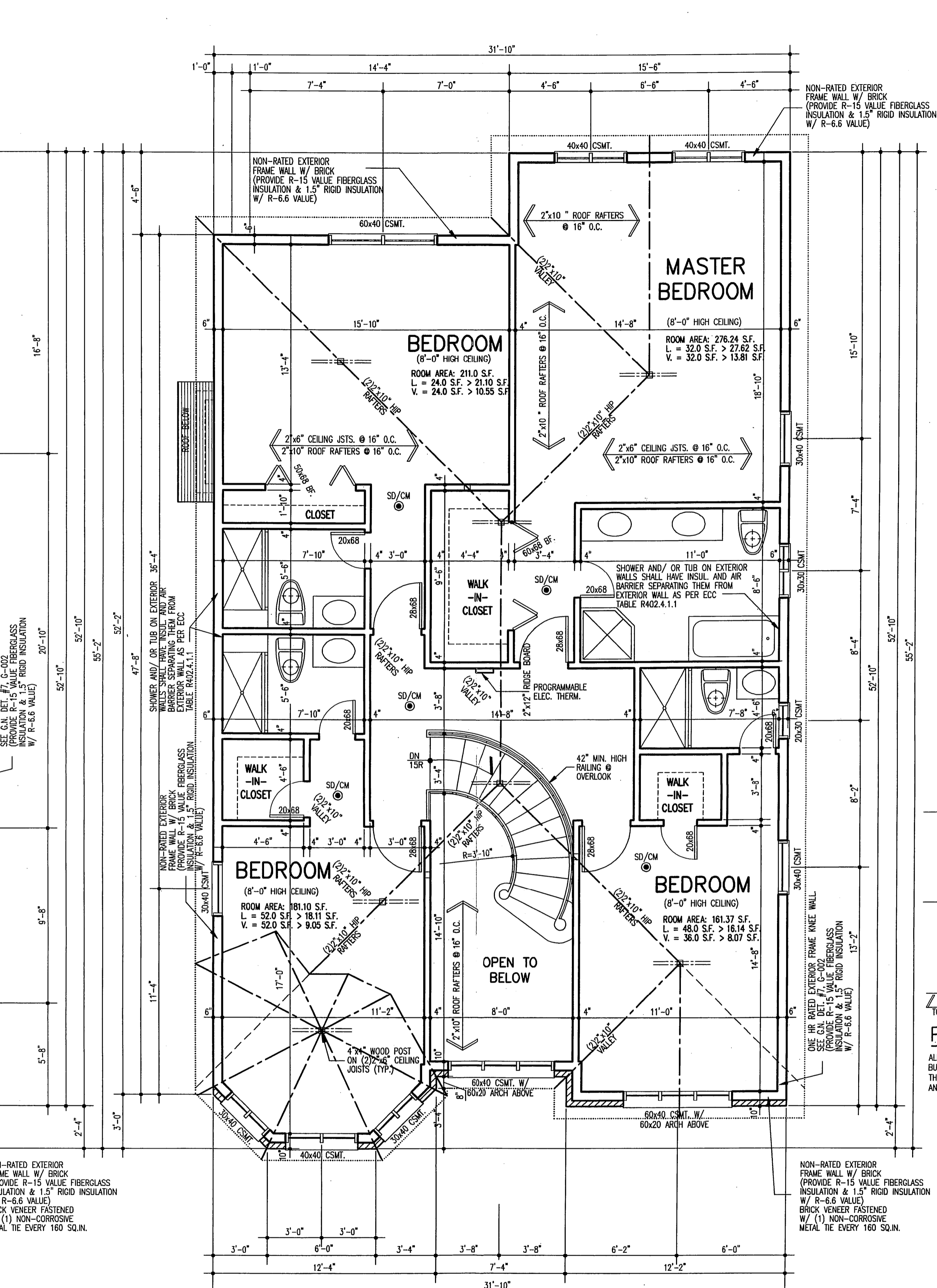
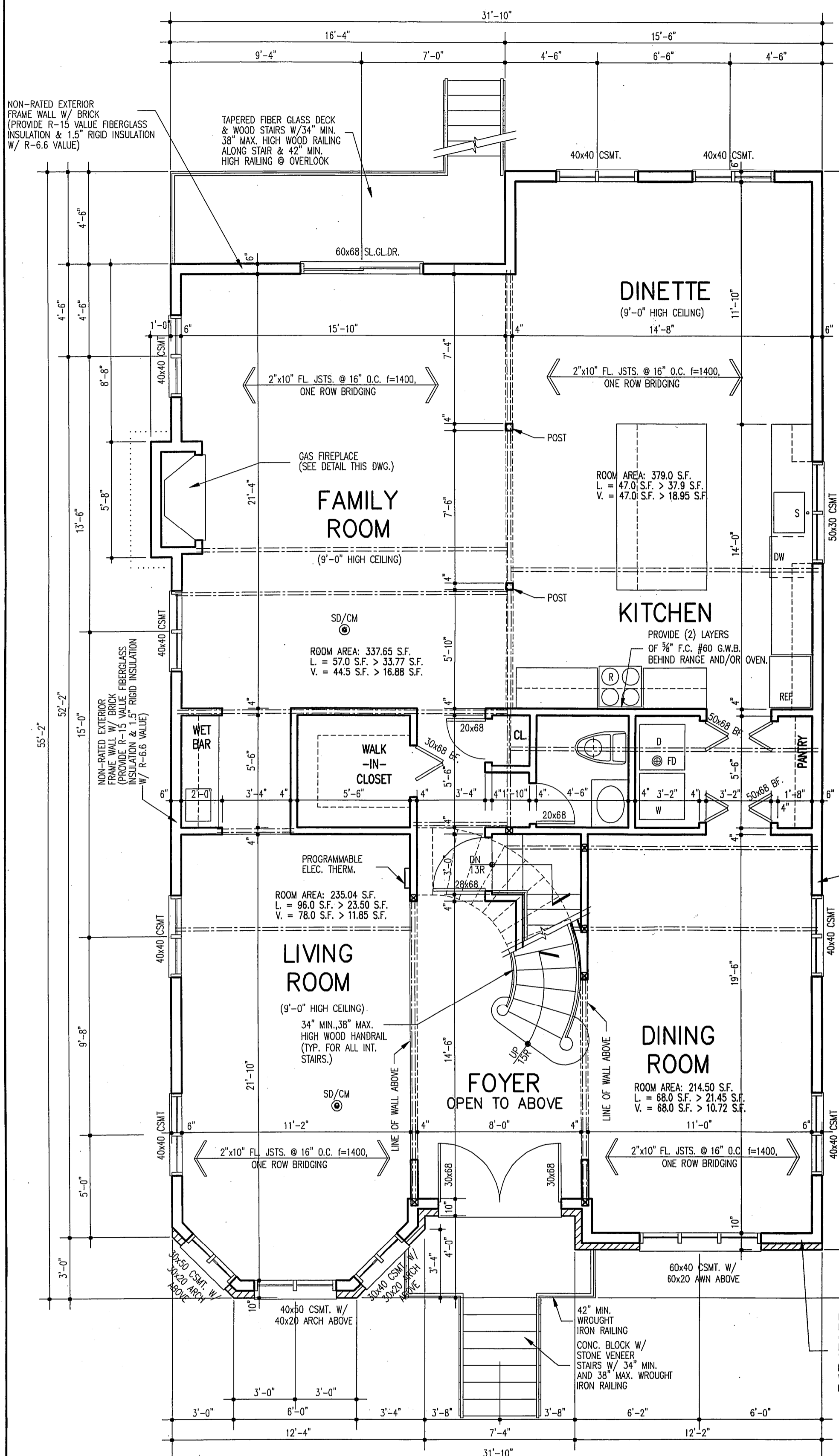
1562 Richmond Road Suite 205
Staten Island, New York 10304
DOB No.

Drawing Title:
FOUNDATION PLAN
CELLAR/ BASEMENT
FLOOR PLAN

Scale: AS NOTED
Date: 12/29/16
Drawn By: OL
Job No.: 15-1582_04
Seal & Signature:



Dwg. No.: A-002.00
No. of Dwg's: 2 OF



SYMBOL LEGEND:

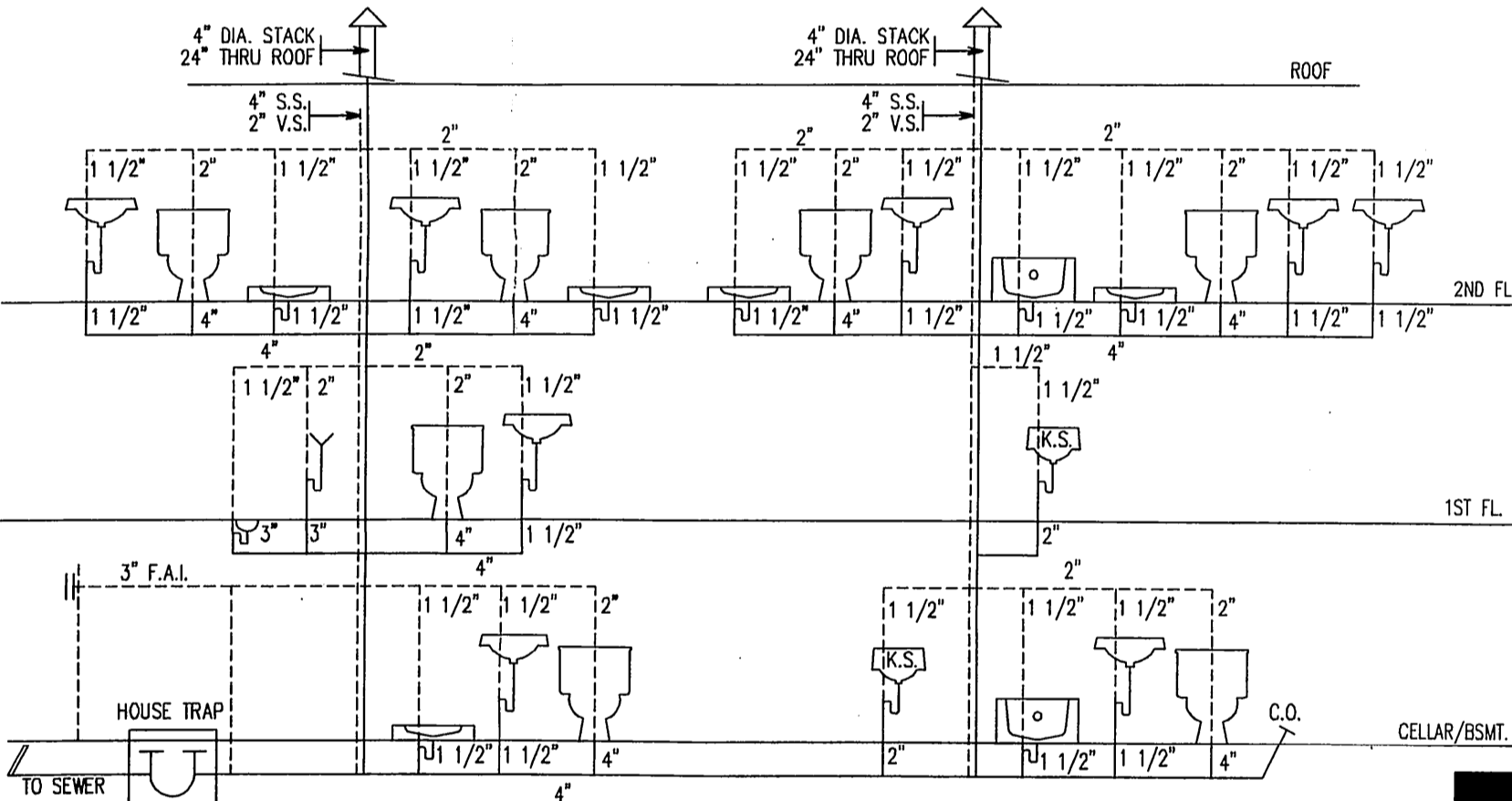
SD/CM	APPROVED TYPE SMOKE DETECTOR / HARDWARE CARBON MONOXIDE DETECTOR. (CARBON MONOXIDE DETECTOR WILL BE INSTALLED WITHIN 15' FROM BEDROOMS AS PER R.S. 17-13 & 17-14) (SEE GENERAL NOTES)	VERTICAL DUCT WITH APPROVED TYPE RESISTER AND GRAVITY DAMPER.
WH	WALK-IN CLOSET	PROVIDE 50 CFM MINIMUM EXHAUST FAN IN BATHROOMS (WILL BE INSTALLED AS PER ECC TABLE 403.6.1) (SEE GENERAL NOTES)
		GAS FIRED HOT WATER FURNACE MAKE: GOODMAN MODEL: GMS 80 (DIRECT VENT) 80% AFUE MEA # 127-03E VOL-4
		W/D WASHER / DRYER

- NOTES:**
- ALL INTERIOR WALLS SEPARATING GARAGE FROM RESIDENCE AND RESIDENCE FROM RESIDENCE TO BE ONE HOUR RATED. SEE DETAIL #8 GENERAL NOTES, SHEET G-002.
 - FLOOR ASSEMBLIES SEPARATING GARAGE FROM RESIDENCE AND RESIDENCE FROM RESIDENCE TO BE ONE HOUR RATED. SEE DETAIL #24 AND OR 25. GENERAL NOTES, SHEET 2 OF 2.
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 - SEE DETAIL #28, GENERAL NOTES SHEET G-003. ALSO SEE DETAIL #9 AND OR #10 FOR ONE HOUR RATED SLOTTED AND TASSA.
 - PROVIDE TWO LAYERS OF 5/8" F.C. #60 GWB BEHIND OVEN AND OR RANGE.
 - SEE DETAIL #22.23 & 29, GENERAL NOTES, SHEET G-003 FOR PLAN OF VENT FLUE ENCLOSURE DETAIL (WHERE REQUIRED).
 - SEE DETAIL # 27, GENERAL NOTES, SHEET G-003, FOR ONE HOUR RATED STEEL COLUMN DETAILS (WHERE REQUIRED).
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 - 3. 40 LUMENS PER WATT FOR LAMPS 15 WATTS OR LESS.
 - DOUBLE UP ALL JOISTS UNDER PARALLEL NON-BEARING PARTITION. FOR BEARING PARTITION SEE FLOOR PLANS.
 - 15-3 FORM FOR 4000 PSI CONCRETE TO BE PROVIDED TO THE APPLICANT OF RECORD AND SPECIAL INSPECTION AGENCY RESPONSIBLE FOR CONCRETE CAST-IN-PLACE PRIOR TO PLACEMENT OF CONCRETE. SPECIAL INSPECTION AGENCY TO VERIFY THE INSTALLATION OF 4000 PSI CONCRETE.

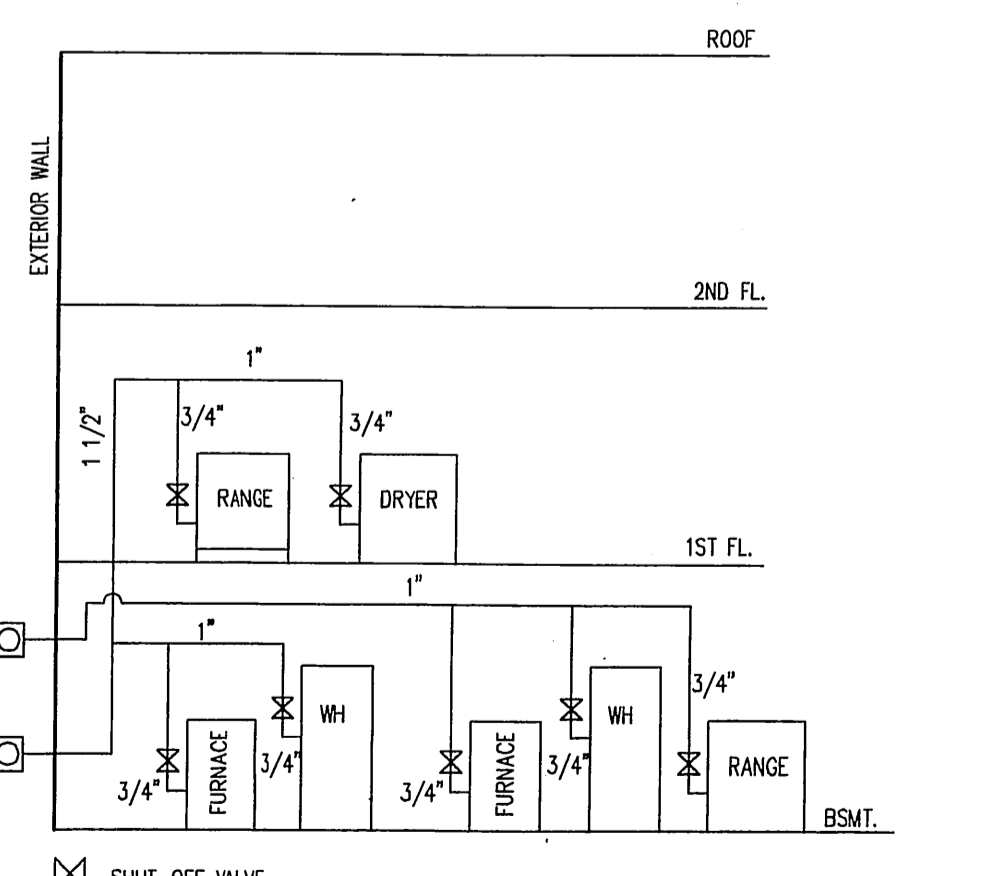
ENERGY CONSERVATION CODE PROFESSIONAL STATEMENT:

- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2016 NYC ENERGY CONSERVATION CODE.

VB CONSTRUCTION FULLY SPRINKLERED
(SPRINKLER PLAN AS PER NFPA 13R TO BE FILED UNDER SEPARATE APPLICATION)



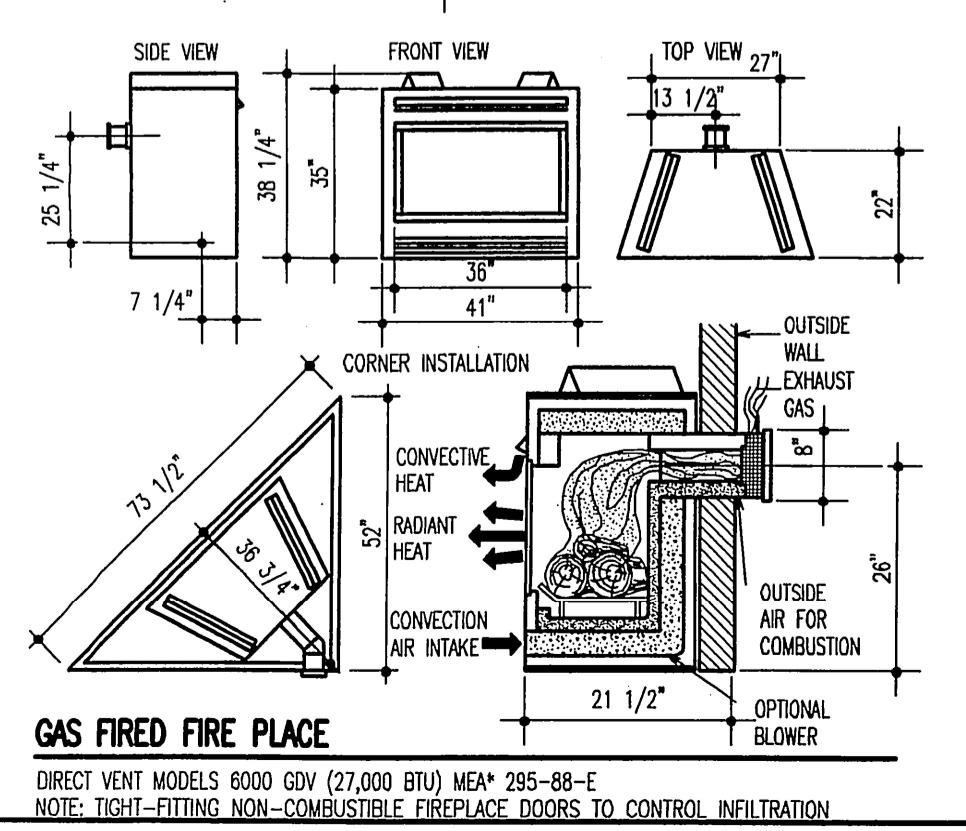
PLUMBING DIAGRAM:
ALL PLUMBING TO BE DONE IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE. WATER METERS TO BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE N.Y.C. AGENCIES HAVING JURISDICTION AND IN ACCORDANCE WITH THE 2014 NYC BUILDING CODE.



GAS RISER DIAGRAM:
N.T.S.

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

B.C. GROSS FLOOR AREA: 31.83 x 55.17 = 1,756.06 SF	Z.R. FLOOR AREA: SAME AS GROSS: 1,614.50 SF
LESS RECESS: (3.00 x 3.00) / 2 = 4.50 (3.33 x 3.33) / 2 = 5.54 7.33 x 4.00 = 29.32 12.33 x 2.33 = 28.72 16.33 x 4.50 = 73.48 TOTAL RECESS: 141.56 SF	
TOTAL FLOOR AREA: 1,756.06 - 141.56 = 1,614.50 SF	



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

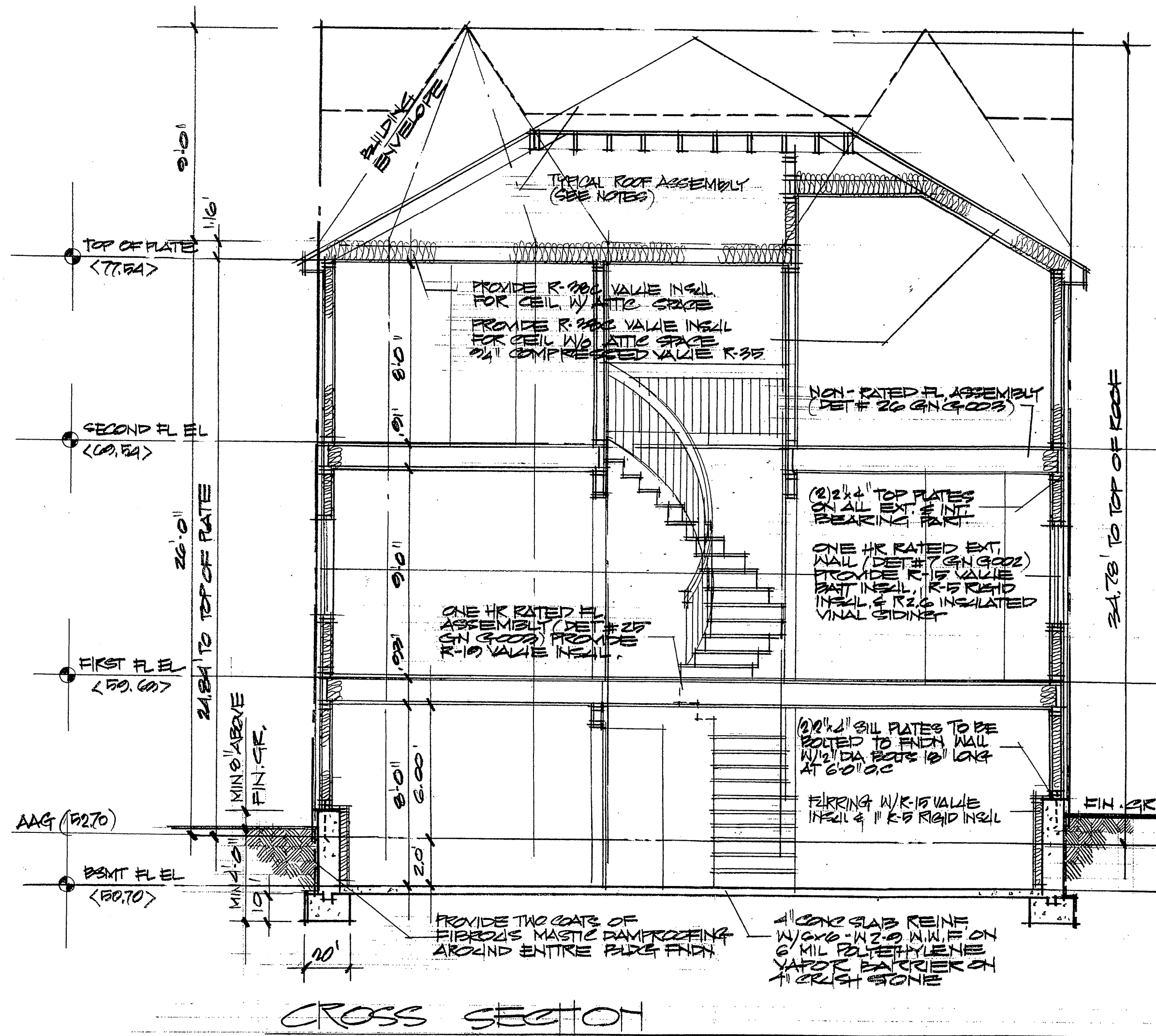
B.C. GROSS FLOOR AREA: 31.83 x 55.17 = 1,756.06 SF	Z.R. FLOOR AREA: SAME AS GROSS: 1,526.37 SF	LOT COVERAGE: 31.83 x 55.17 = 1,756.06 SF
LESS RECESS: (3.00 x 3.00) / 2 = 4.50 (3.33 x 3.33) / 2 = 5.54 7.33 x 4.00 = 29.32 12.33 x 2.33 = 28.72 16.33 x 4.50 = 73.48 TOTAL RECESS: 141.56 SF		LESS RECESS: (3.00 x 3.00) / 2 = 4.50 (3.33 x 3.33) / 2 = 5.54 7.33 x 4.00 = 29.32 12.33 x 2.33 = 28.72 TOTAL RECESS: 68.08 SF
TOTAL FLOOR AREA: 1,756.06 - 141.56 = 1,614.50 SF	TOTAL FLOOR AREA: 1,526.37 - 68.08 = 1,458.29 SF	TOTAL RECESS: 68.08 SF

**Stanley Michael
Krebushevski Architect**
1562 Richmond Road Suite 205
Staten Island, New York 10304

Drawing Title:
**FOUNDATION PLAN
BASEMENT FLOOR
PLAN**

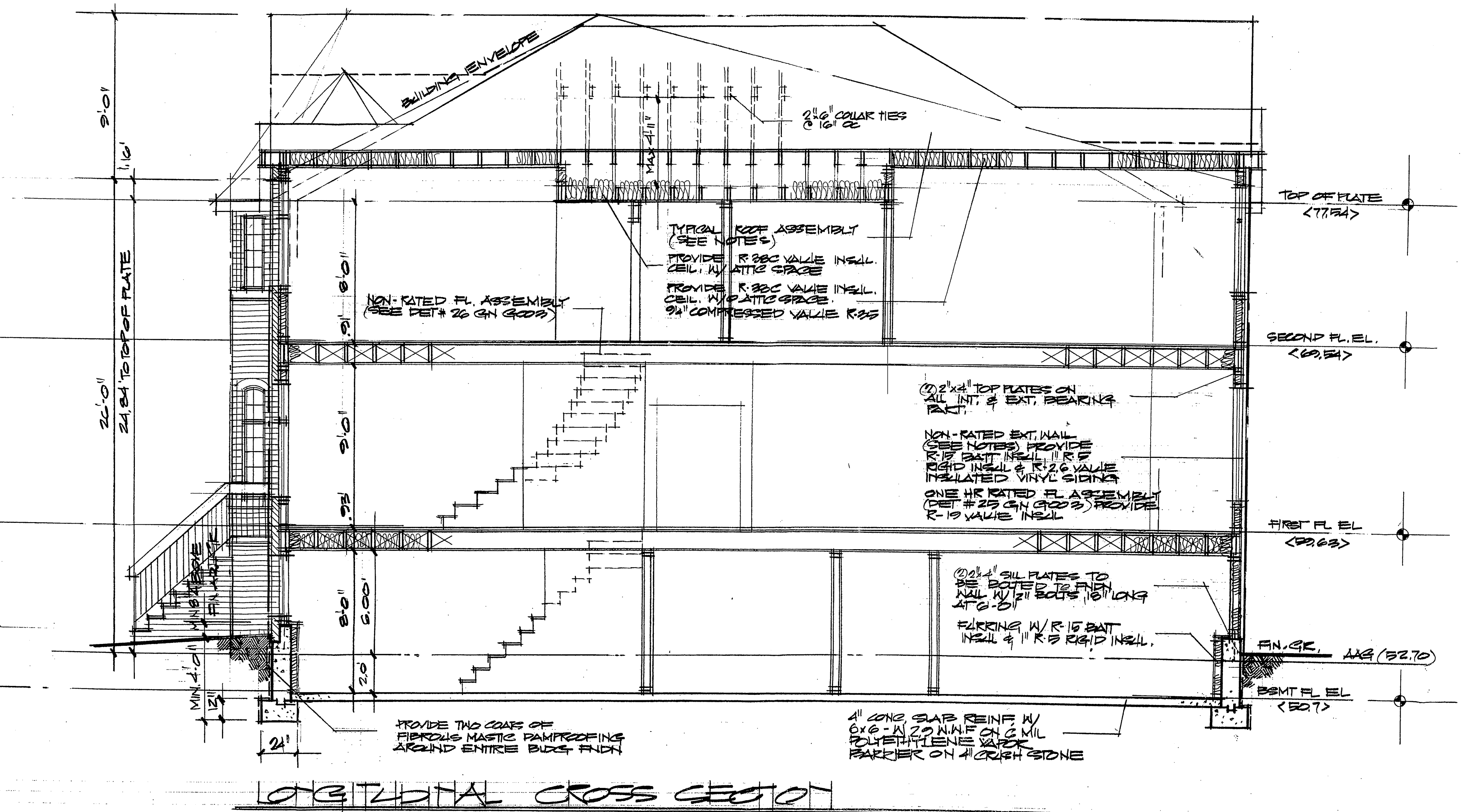
Scale: AS NOTED
Date: 12/29/16
Drawn By: DL
Job No.: 15-1582_04
Seal & Signature:

Dwg. No.: **A-003.00**
No. of Dwg.: **3 OF**



CROSS SECTION

SCALE 1/4" = 1'-0"



LONGITUDINAL CROSS SECTION

SCALE 1/4" = 1'-0"

ONE HOUR RATED EXTERIOR WALL ASSEMBLY:

- (SEE DETAIL #7, G.N. G-002)
- R-2.6 INSULATED VINYL SIDING OR EPS FINISH 1.8pcf (1 1/2" R-6.6 OR 2" R-8.8 AS INDICATED ON PLANS)
- 15# BUILDING FELT, MINIMUM 4" OVERLAP
- 1" R-5, 1 1/2" R-7.5 OR 2" R-10 RIGID INSUL. (AS INDICATED ON PLANS)
- 5/8" TYPE 'X' GWB.
- 2x4" WOOD STUDS @16" O.C. OR 2x6" WOOD STUDS @16" O.C. (AS INDICATED ON PLANS)
- 3 1/2" R-15 OR 5 1/2" R-21 FIBERGLASS INSUL. (AS INDICATED ON PLANS)
- 5/8" TYPE 'X' GWB.

NON-RATED EXTERIOR WALL ASSEMBLY:

- 4" BRICK VENEER / TO BE TIED EVERY 180 SQIN. WITH NON-CORROSIVE METAL TIES
- 1" AIR SPACE OR EPS FINISH 1.8pcf, STONE VENEER OR R-2.6 INSULATED VINYL SIDING
- 15# BUILDING FELT, MINIMUM 4" OVERLAP
- 1" R-5, 1 1/2" R-7.5 OR 2" R-10 RIGID INSUL. (AS INDICATED ON PLANS)
- EXTERIOR GRADE PLYSCORE SHEATHING
- 2x4" WOOD STUDS @16" O.C. (AS INDICATED ON PLANS)
- 3 1/2" R-15 OR 5 1/2" R-21 FIBERGLASS INSUL. -1/2" GWB.

NON RATED INTERIOR WALL ASSEMBLY:

- 1/2" GWB.
- 2x4" WOOD STUDS @16" O.C.
- 1/2" GWB.

ONE HOUR RATED INTERIOR WALL ASSEMBLY:

- (SEE DETAIL #8, G.N. G-002)
- 5/8" TYPE 'X' GWB.
- 2x4" WOOD STUDS @16" O.C.
- 3 1/2" R-15 VALUE FIBERGLASS INSULATION
- 5/8" TYPE 'X' GWB.

TYPICAL ROOF ASSEMBLY:

- #235 CLASS 'C' ROOFING, MEA #98-70-M
- 15# BUILDING FELT, MINIMUM 4" OVERLAP
- 1/2" EXTERIOR GRADE PLYSCORE SHEATHING
- 2x10" OR 2x12" RIDGEBARD
- 2x6" OR 2x10" ROOF RAFTERS @ 16" O.C. -2x6" 2x8" OR 2x10" CEILING JOISTS @16" O.C. (AS INDICATED ON PLAN)
- 8 1/4" R30C OR 9 1/4" R30C (COMPRESSED VALUE R-35) FIBERGLASS INSULATION (CELL W/O ATTIC SPACE ONLY)
- 10 1/4" R-38C OR 14" R-49 FIBERGLASS INSULATION (CELL W/ ATTIC SPACE ONLY)
- 1/2" GWB

NON-RATED FLOOR ASSEMBLY: (.91' THICK)

- (SEE DETAIL #26, G.N. G-003)
- 3/4" OAK FINISH FLOOR
- 1/2" PLYWOOD SUBFLOOR
- 8 1/4" MIN. R-30 FIBERGLASS INSUL. (AS INDICATED ON PLANS)
- 2x10" FL. JOISTS @16" O.C. OR 9x4" AIS @16" O.C. (AS INDICATED ON PLANS)
- 1/2" GWB

ONE HOUR RATED FLOOR ASSEMBLY: (.93' THICK)

- (SEE DETAIL #25, G.N. G-003)
- 3/4" OAK FINISH FLOOR
- 1/2" PLYWOOD SUBFLOOR
- 8 1/4" MIN. R-30 FIBERGLASS INSUL.
- 2x10" FL. JOISTS @16" O.C. OR 9x4" AIS @16" O.C. (AS INDICATED ON PLANS)
- 1/2" GWB

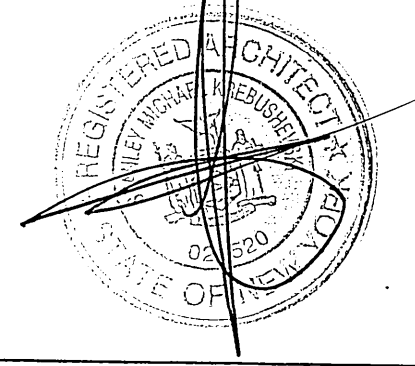
Stanley Michael Krebushevski Architect

1562 Richmond Road Suite 205
Staten Island, New York 10304
DOB No.

Drawing Title:

CROSS SECTIONS

Scale: AS NOTED
Date: 01/09/17
Drawn By:
Job No.: 15-1802
Seal & Signature:



Dwg. No.:

No. of Dwg.:

04



ONE HOUR RATED EXTERIOR WALL ASSEMBLY:

- (SEE DETAIL #7, G.N. G-002)
- R-2.6 INSULATED VINYL SIDING OR EFS FINISH 1.8pcf (1 1/2" R-8.6 OR 2" R-8.8 AS INDICATED ON PLANS)
 - 15# BUILDING FELT, MINIMUM 4" OVERLAP
 - 1" R-5, 1 1/2" R-7.5 OR 2" R-10 RIGID INSUL. (AS INDICATED ON PLANS)
 - 5/8" TYPE "X" GWR
 - 2"x4" WOOD STUDS @16" O.C. OR 2"x6" WOOD STUDS @16" O.C. (AS INDICATED ON PLANS)
 - 3 1/2" R-15 OR 5 1/2" R-21 FIBERGLASS INSUL. (AS INDICATED ON PLANS)
 - 5/8" TYPE "X" GWR

NON-RATED EXTERIOR WALL ASSEMBLY:

- 4" BRICK VENEER / TO BE TIED EVERY 160 SQ IN WITH NON-CORROSIVE METAL TIES
- 1" AIR SPACE
- EFS FINISH 1.8pcf, STONE VENEER OR R-2.6 INSULATED VINYL SIDING
- 15# BUILDING FELT, MINIMUM 4" OVERLAP
- 1" R-5, 1 1/2" R-7.5 OR 2" R-10 RIGID INSUL. (AS INDICATED ON PLANS)
- EXTERIOR GRADE PLYSORE SHEATHING
- 2"x4" WOOD STUDS @16" O.C. OR 2"x6" WOOD STUDS @16" O.C. (AS INDICATED ON PLANS)
- 3 1/2" R-15 OR 5 1/2" R-21 FIBERGLASS INSUL. (AS INDICATED ON PLANS)
- 1/2" GWR

TYPICAL ROOF ASSEMBLY:

- #225 CLASS "C" ROOFING, MEA #99-70-M
- 15# BUILDING FELT, MINIMUM 4" OVERLAP
- 1/2" EXTERIOR GRADE PLYSORE SHEATHING
- 2"x10" OR 2"x12" ROOFBOARD
- 2"x6" OR 2"x10" ROOF BATTERS @ 16" O.C.
- 2"x6" 2"x8" OR 2"x10" CEILING JOISTS @16 O.C. (AS INDICATED ON PLAN)
- 6 1/4" R30C OR 9 1/4" R30C (COMPRESSED VALUE R-35) FIBERGLASS INSULATION (CEIL. W/O ATTIC SPACE ONLY)
- 10 1/4" R-38C OR 14" R-49 FIBERGLASS INSULATION (CEIL. W/ ATTIC SPACE ONLY)
- 1/2" GWR

Stanley Michael Krebushevski Architect

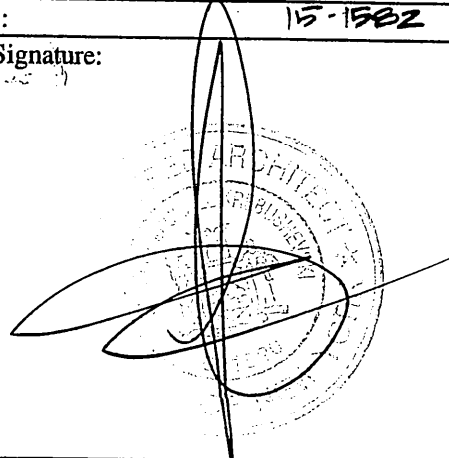
1562 Richmond Road Suite 205
Staten Island, New York 10304

DOB No.

FRONT & RIGHT SIDE ELEVATION

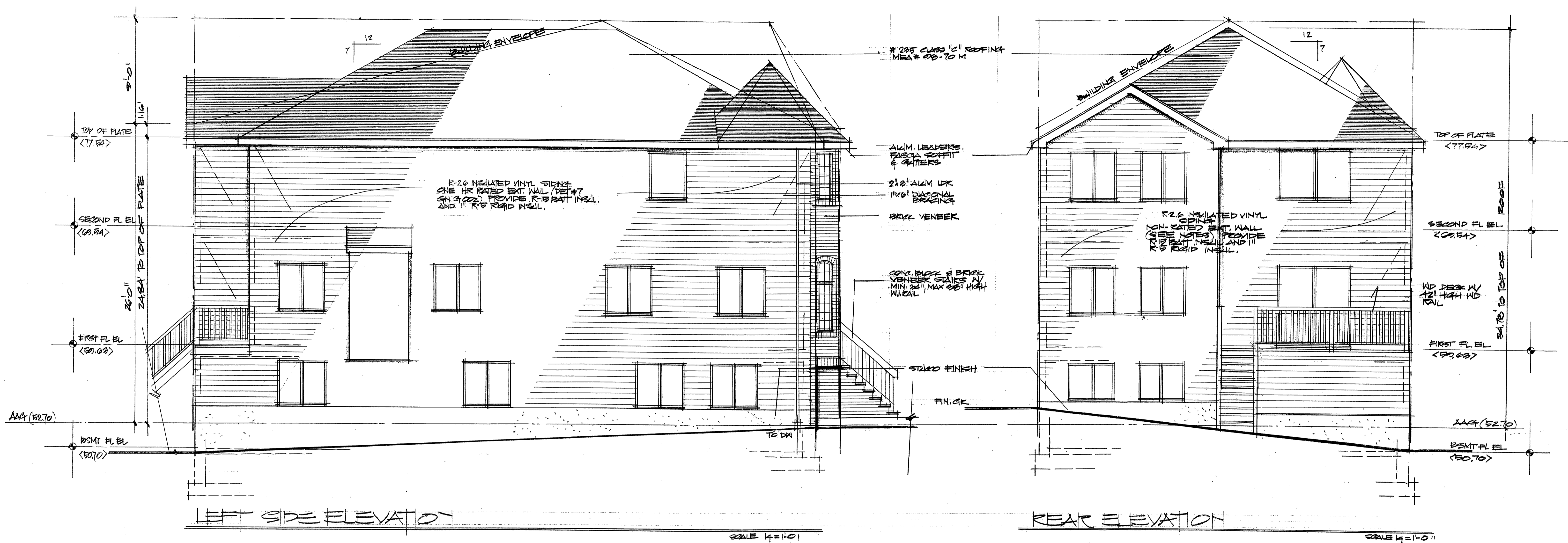
Drawing Title:

Scale: AS NOTED
Date: 01/09/17
Drawn By:
Job No.: 15-1582
Seal & Signature:



Dwg. No.:

No. of Dwgs.:



ONE HOUR RATED EXTERIOR WALL ASSEMBLY:

- (SEE DETAIL #7, G.N. G-002)
- R-2.6 INSULATED VINYL SIDING OR EPS FINISH 1.8pcf (1 1/2" R-6.6 OR 2" R-8.8 AS INDICATED ON PLANS)
 - 15# BUILDING FELT, MINIMUM 4" OVERLAP
 - 1" R-5, 1 1/2" R-7.5 OR 2" R-10 RIGID INSUL. (AS INDICATED ON PLANS)
 - 5/8" TYPE 'X' GWB.
 - 2x4" WOOD STUDS @16" O.C. OR 2x6" WOOD STUDS @16" O.C. (AS INDICATED ON PLANS)
 - 3 1/2" R-15 OR 5 1/2" R-21 FIBERGLASS INSUL. (AS INDICATED ON PLANS)
 - 5/8" TYPE 'X' GWB.

NON-RATED EXTERIOR WALL ASSEMBLY:

- 4" BRICK VENEER / TO BE TIED EVERY 160 SQ. IN. WITH NON-CORROSIVE METAL TIES
- 1" AIR SPACE
- OR
- EPS FINISH 1.8pcf, STONE VENEER OR R-2.6 INSULATED VINYL SIDING
- 15# BUILDING FELT, MINIMUM 4" OVERLAP
- 1" R-5, 1 1/2" R-7.5 OR 2" R-10 RIGID INSUL. (AS INDICATED ON PLANS)
- EXTERIOR GRADE PLYSCOURE SHEATING
- 2x4" WOOD STUDS @16" O.C.
- 2x6" WOOD STUDS @16" O.C. (AS INDICATED ON PLANS)
- 3 1/2" R-15 OR 5 1/2" R-21 FIBERGLASS INSUL.
- 1/2" GWB.

TYPICAL ROOF ASSEMBLY:

- #235 CLASS "C" ROOFING, MEA #98-70-M
- 15# BUILDING FELT, MINIMUM 4" OVERLAP
- 1/2" EXTERIOR GRADE PLYSCOURE SHEATING
- 2x10" OR 2x12" RIDGEBOARD
- 2x6" OR 2x10" ROOF RAFTERS @ 16" O.C.
- 2x6", 2x8" OR 2x10" CEILING JOISTS @16" O.C. (AS INDICATED ON PLAN)
- 8 1/4" R30C OR 9 1/4" R30C (COMPRESSED VALUE R-35) FIBERGLASS INSULATION (CELL W/O ATTIC SPACE ONLY)
- 10 1/4" R-38C OR 14" R-49 FIBERGLASS INSULATION (CELL W/ ATTIC SPACE ONLY)
- 1/2" GWB

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REAR & LEFT SIDE ELEVATION

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Seal & Signature:

Dwg. No.:

No. of Dwgs.: